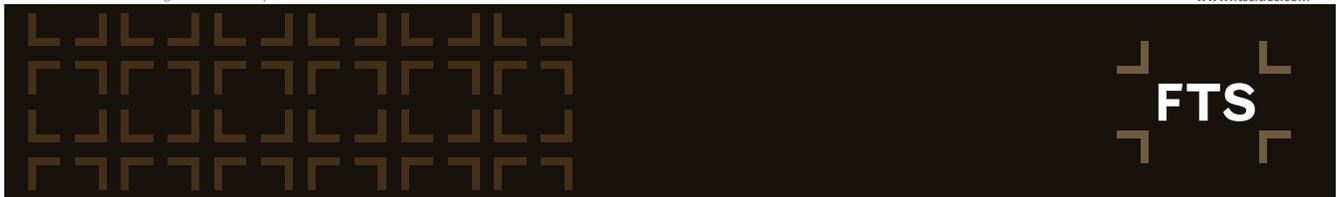


Approaches to Placemaking in Priority Development Areas

Gregory Tung, Principal
Freedman Tung + Sasaki
ABAG Regional Planning Committee
December 4, 2013

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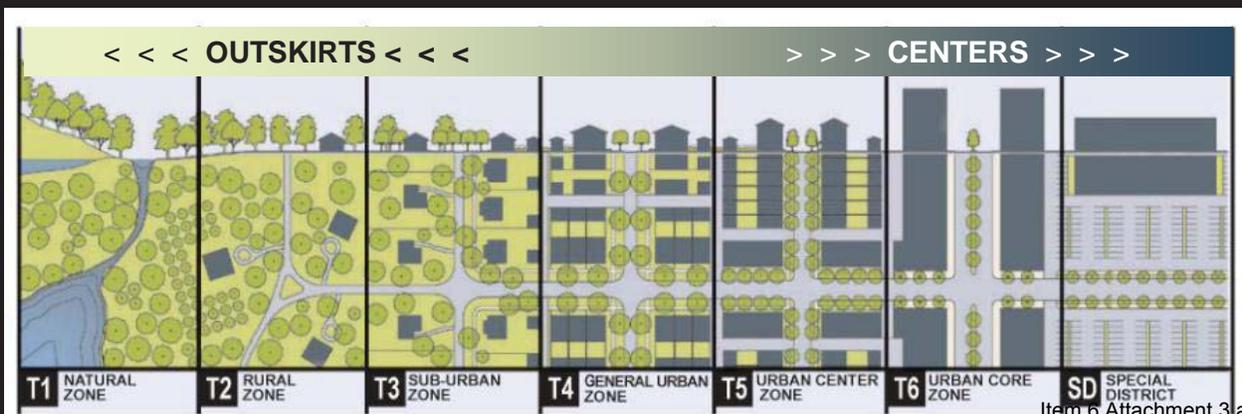


**“Placemaking”
What is it?**

City Pattern

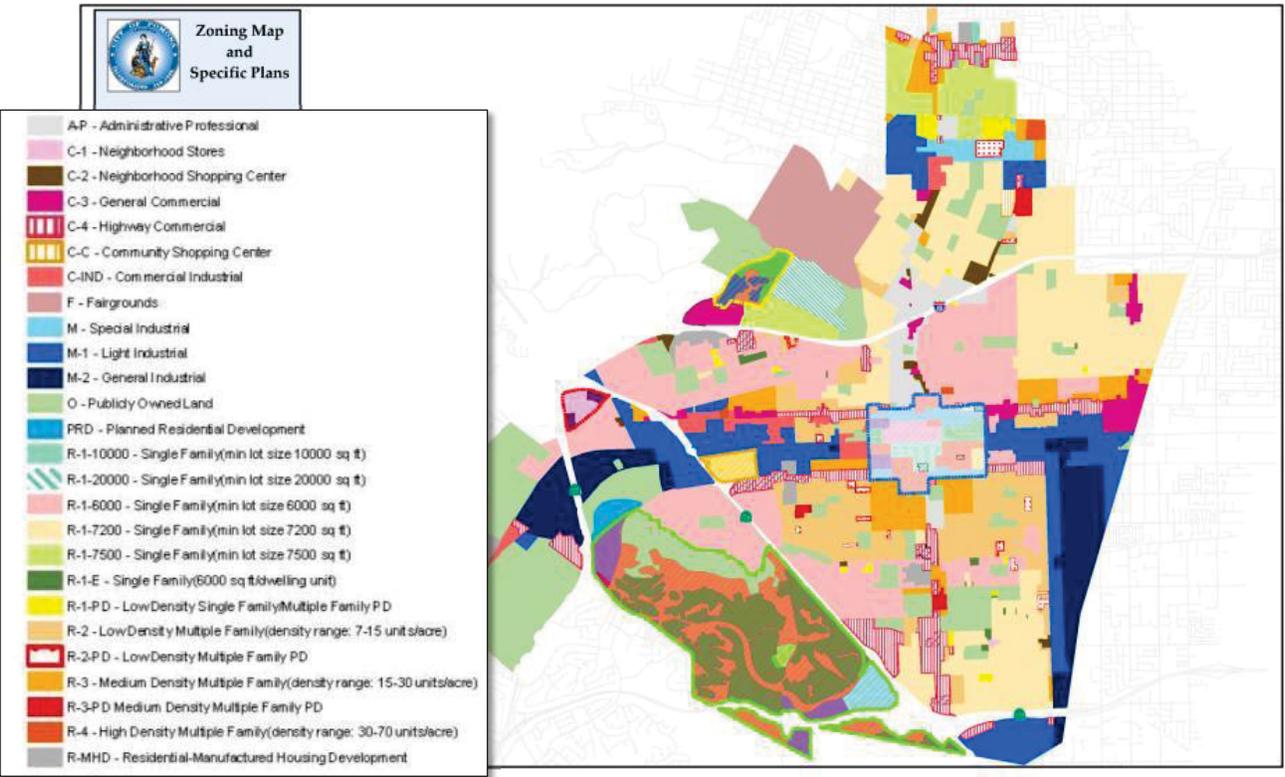
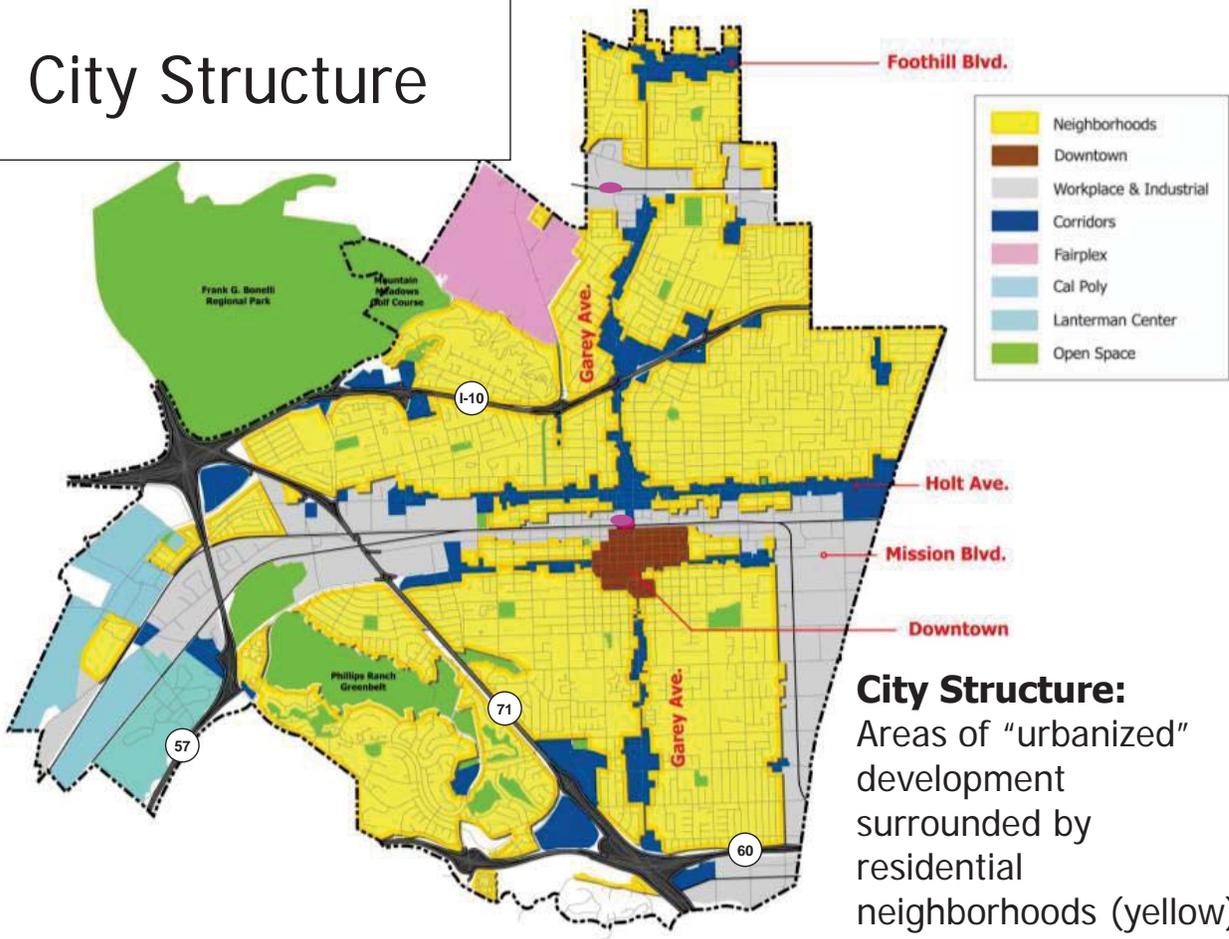
District Structure, Sense of Place, & Transect

- “Pieces of city” (neighborhoods, districts) have a **hierarchy** – at **centers** of activity and intensity, blocks are smaller, denser and more walkable, and architecture shapes public spaces. Quieter **outskirts** have more greenery and developments are further apart.
- Developments in each piece have consistent physical and activity qualities that tell you where you are; they also make investing more secure – we say they show a clear **“sense of place”**.



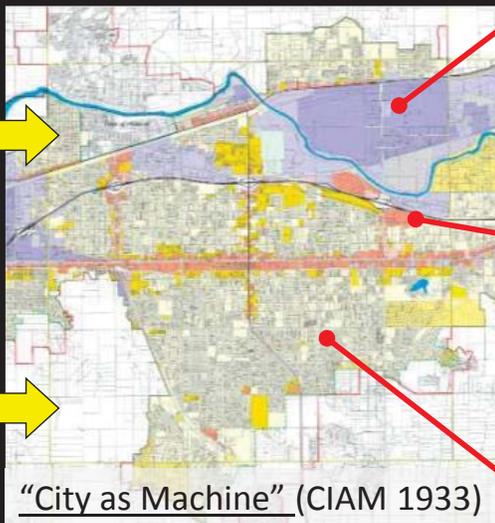
The “Urban Transect” (from The Smart Code, v.7)

City Structure



City Change

Industrialization v.2: City Pattern re-organized using Industrial Principles



"City as Machine" (CIAM 1933)



Business park



Shopping Center



Housing Subdivision

- Economy Focused on Making & Moving Goods
- Synchronized routines
- Segregated land uses linked by vehicle "conveyor belts"
- Mass consumption

The Experiment FIT with the new industrial economy of the Era.

New Technologies:

- Cars
- Interstate Highways
- Electrification
- Air Conditioning

Taylorism (Fordism):

- Central Control
- Mass Production
- Mass Consumption

Demographics:

- Uniform H/H Structure

Cheap energy

Abundant accessible land

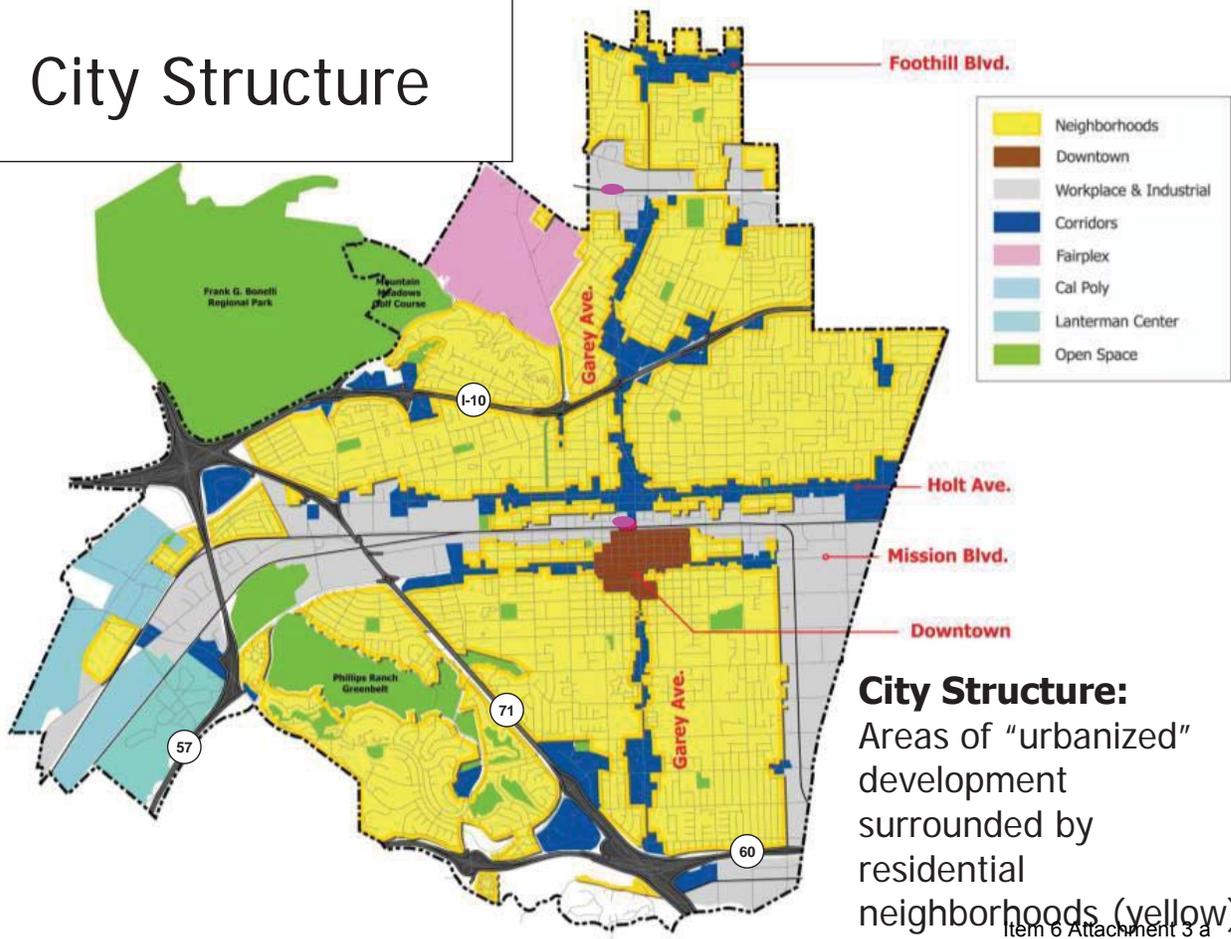
Massive subsidies



It became our culture's development "consensus" on how to build.

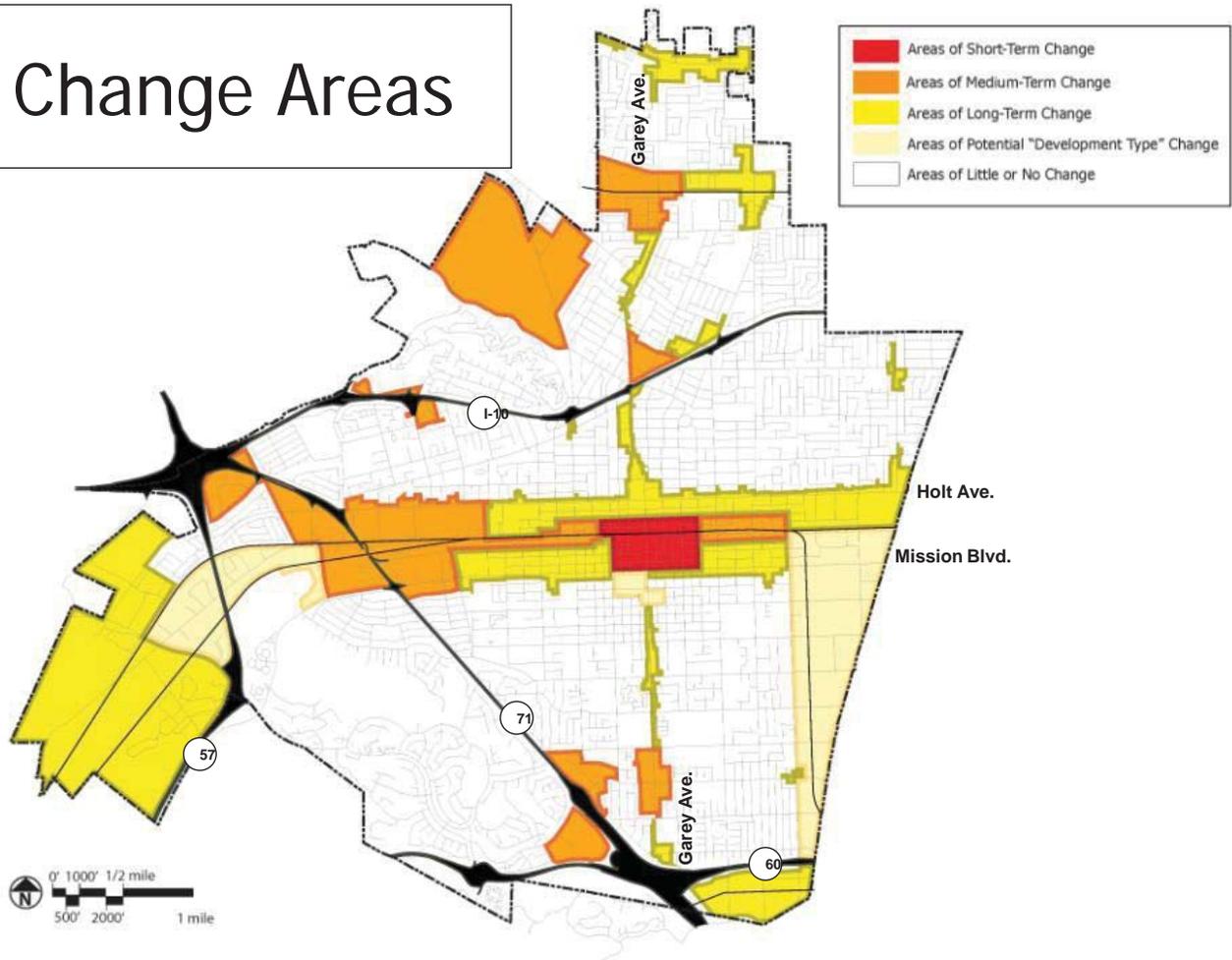
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City Structure



Item 6 Attachment 3 a

Change Areas



**Placemaking at the
small scale:
individual places**



The Franklin & Webster Street corridors – arterial traffic set in Chinatown



Chinatown had the highest pedestrian densities of any East Bay district



Trial version of "scramble" diagonal crosswalks – added striping only



Enlarged corner bulbs + emphatic diagonal striping + "Streetprint" patterns

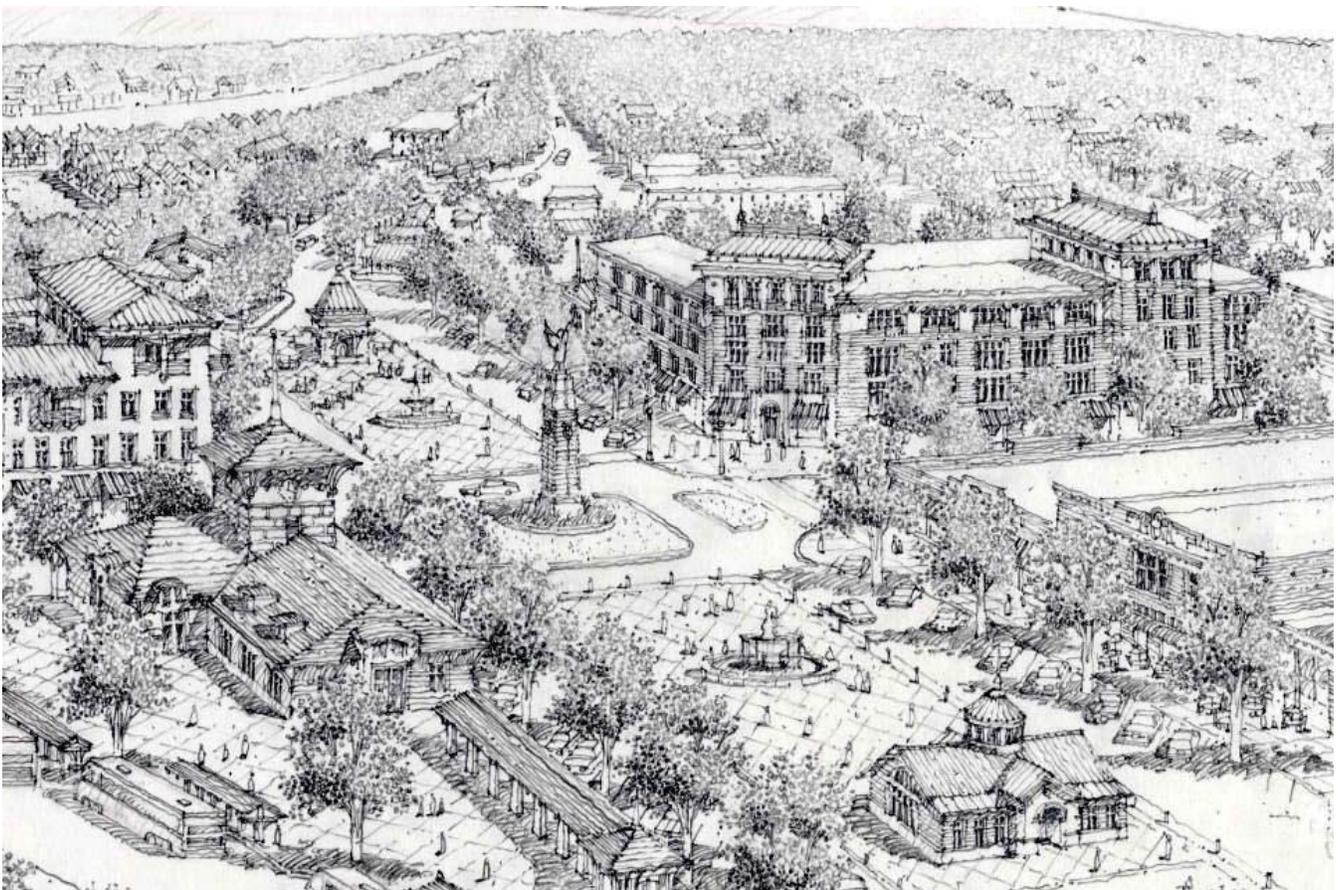


Decorative pattern from a Qing Dynasty manual of architecture and design

Takeaway:
**A functional “facility” +
decorative/cultural
treatment = Placemaking**



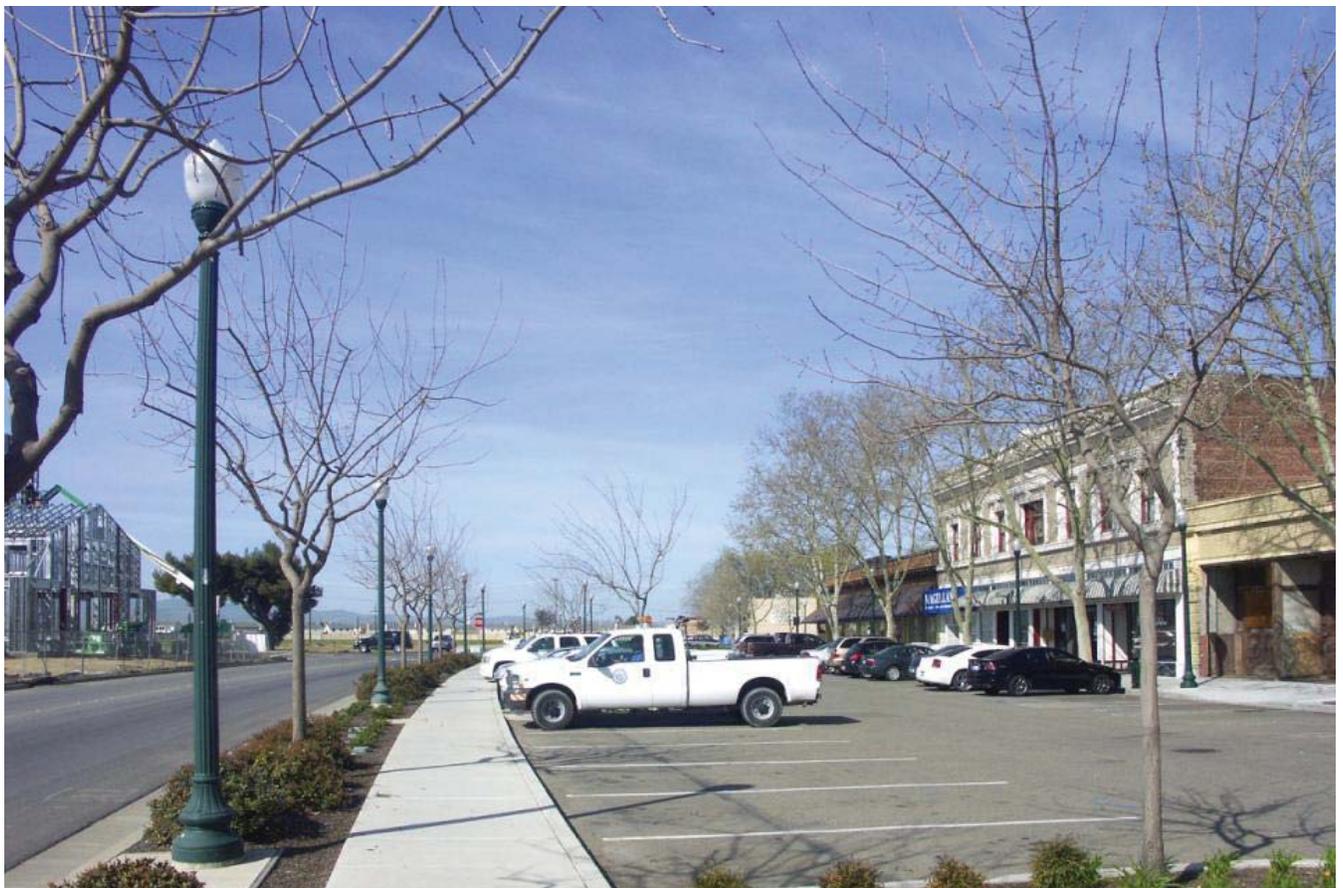
A parking lot at the south edge of downtown (former historic train station site)



Downtown Specific Plan vision illustration



Infill Plaza and roundabout across from new transit station building



Before: parking lot along 6th Street



After: plaza and restored street edge to shops, across from new station



Before: Downtown Redwood City's Courthouse Annex



After: Courthouse Square

Takeaway:
Repurposing the right
focal space or site for
community Gathering =
Placemaking

**Takeaway:
Successful Gathering =
great space + active
“frame.”**

**A space without active
frame = dead.**

**Placemaking at the
medium scale:
block & corridor**

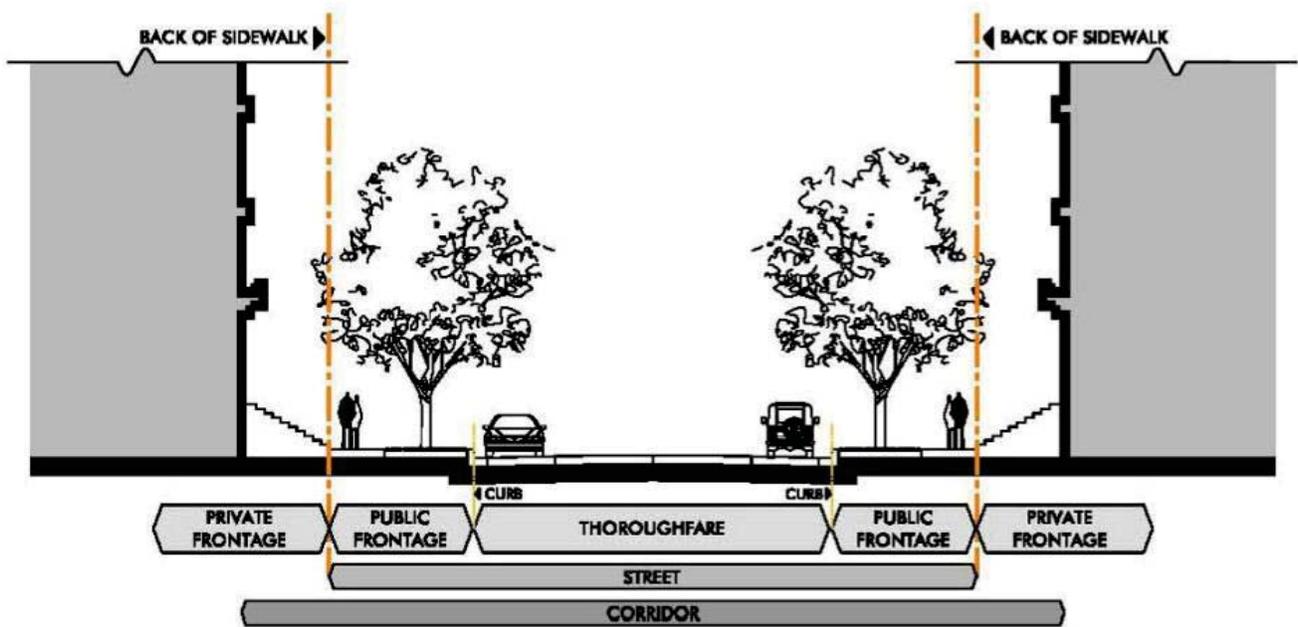


FIG. 18.28.013.2) CORRIDOR DEFINITION OF TERMS

A corridor consists of a public right-of-way
AND the enfronting development

Urban Center



Neighborhood



Public and Private frontage:

Treated differently for "more" and "less" urban places



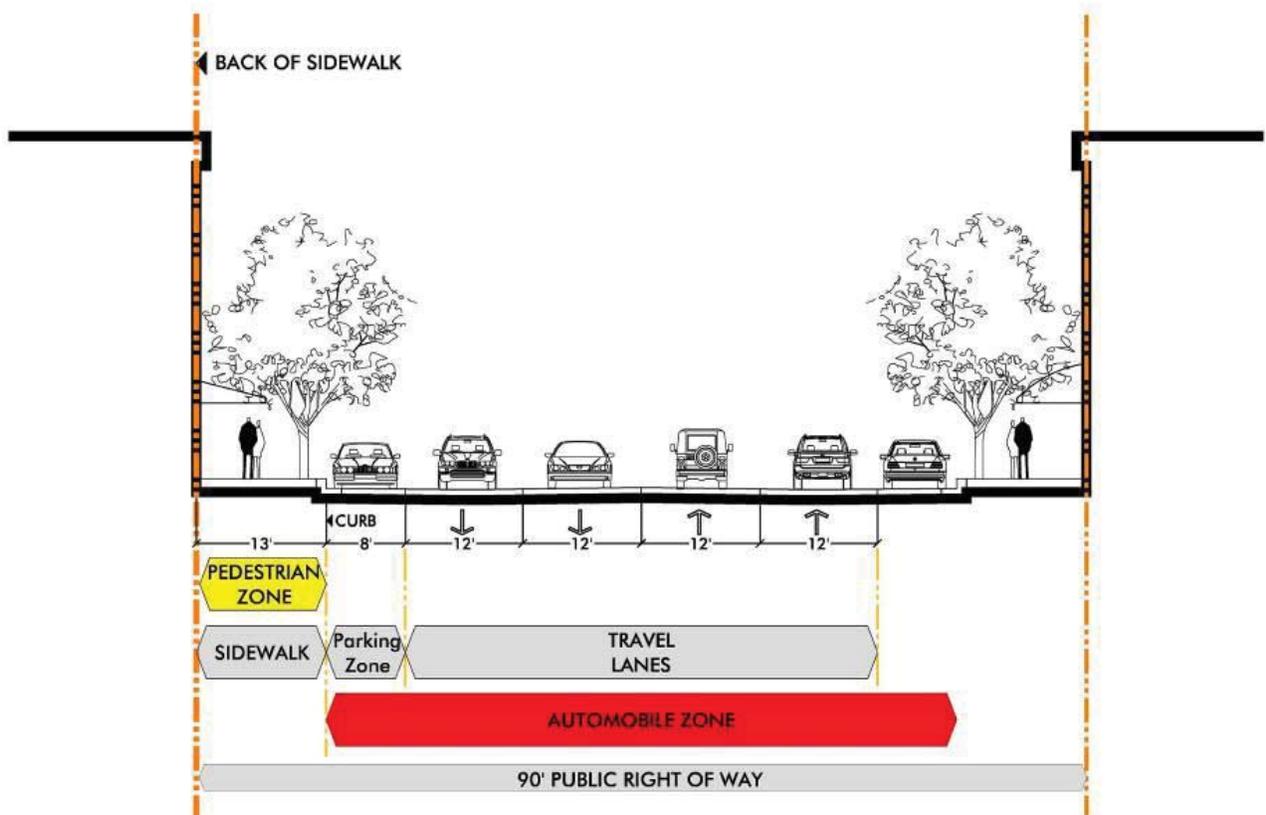
A Street Corridor is all one Place: Successful ones treat both the "walls" and "floor" of the "room"...



...no matter whose "property" it is; they must work together for success

“Street Type must *serve* Development Type”

The “turfs” of the street section – pedestrians vs. automobiles



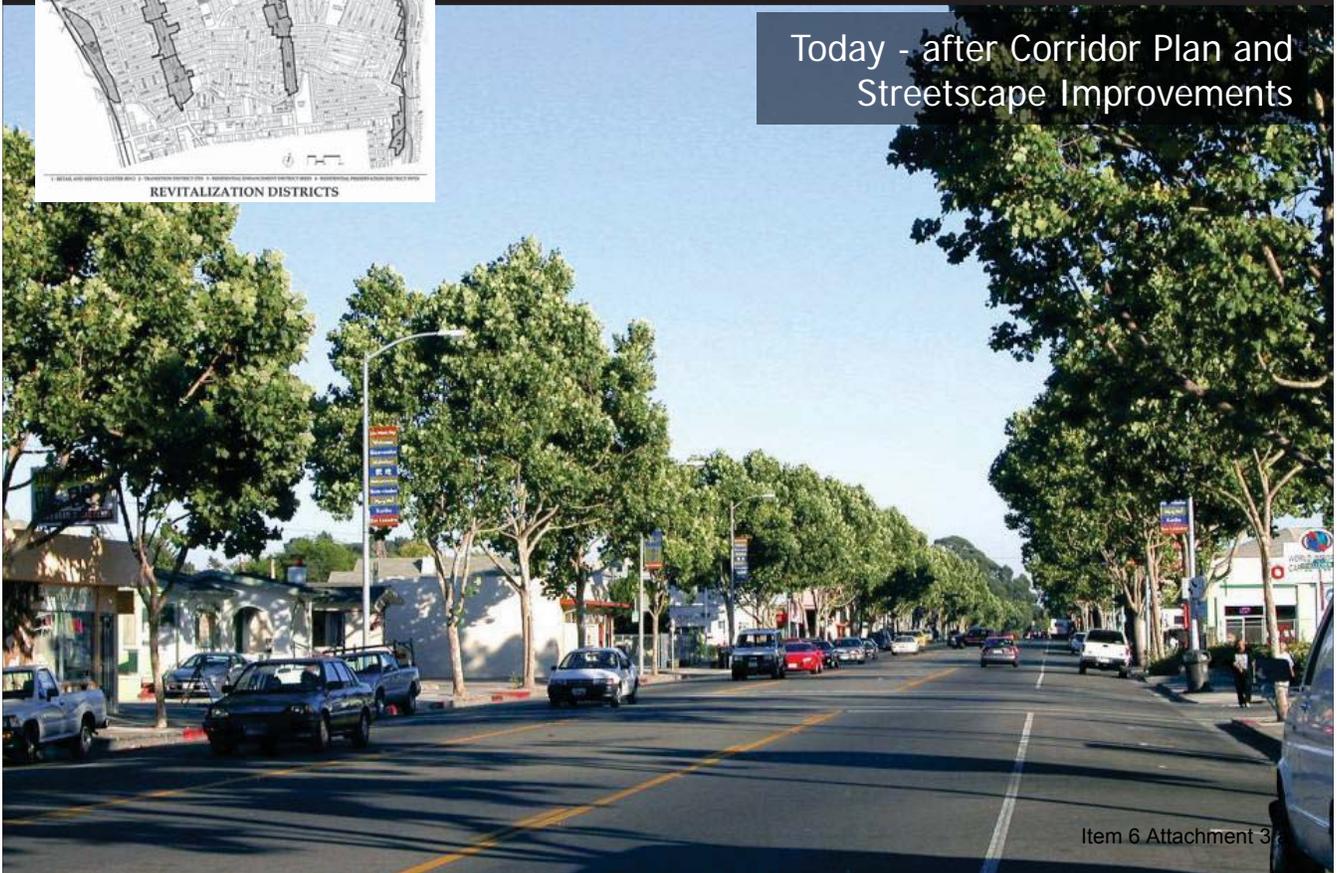
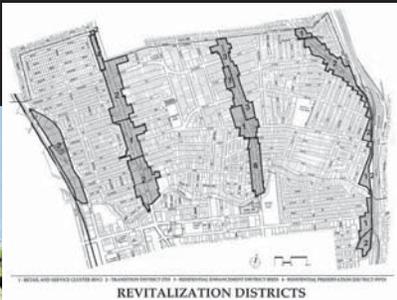
Corridor Transformation: East 14th Street in the North Area

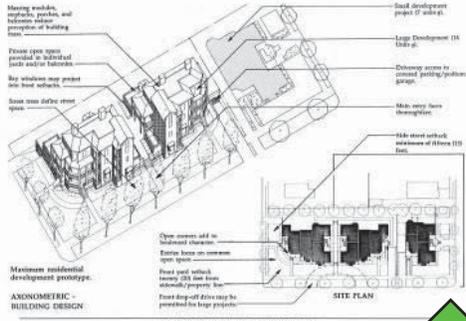
1988 - before Corridor Plan and
Streetscape Improvements



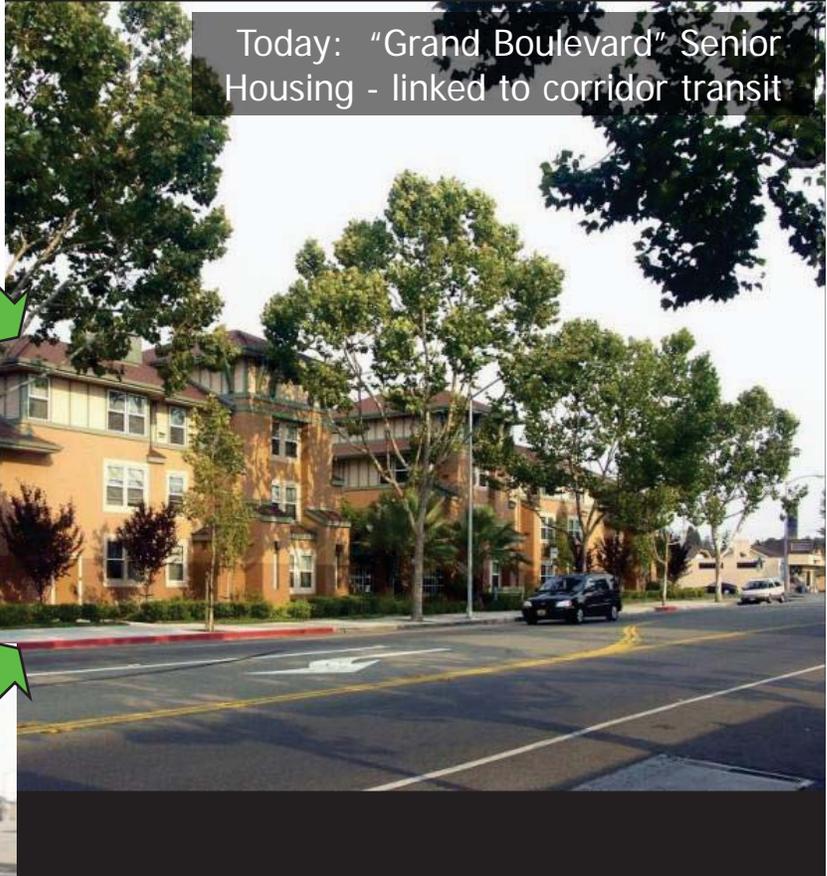
Corridor Transformation: East 14th Street in the North Area

Today - after Corridor Plan and
Streetscape Improvements





Today: "Grand Boulevard" Senior Housing - linked to corridor transit



Existing Mission Boulevard (example location)

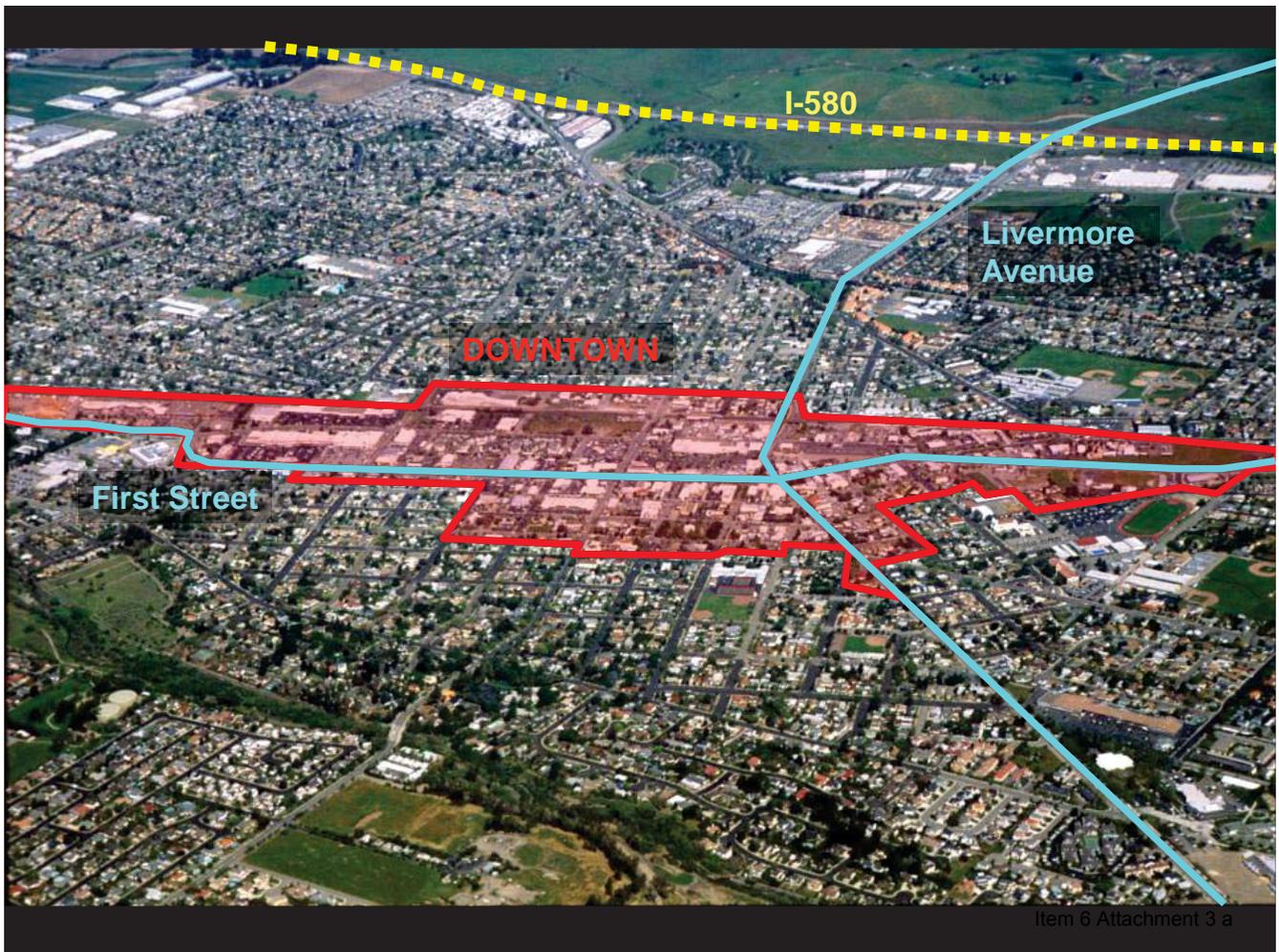


Mission "Midtown Boulevard" Streetscape Concept

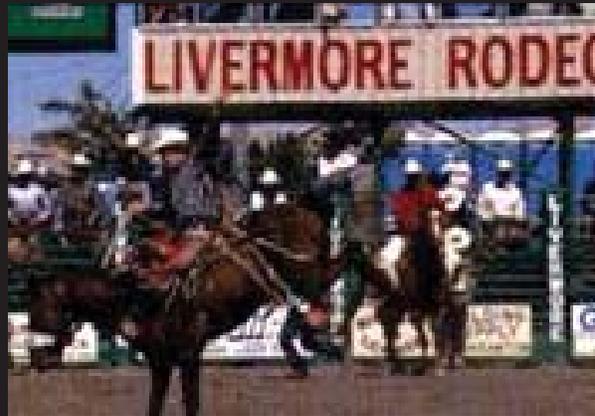
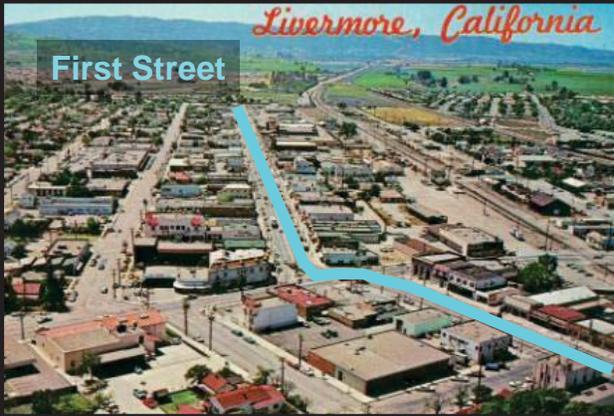


**The takeaway:
Matching the *R.O.W.*
format and the *fronting*
development format
creates place and value**

Placemaking at the broader scale: district

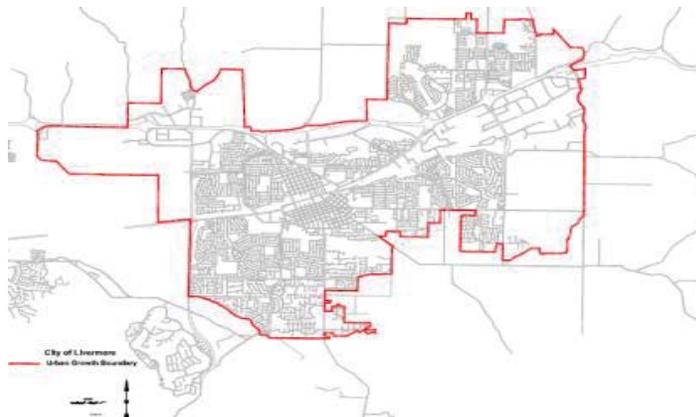


Livermore Heritage: Ranching, Wineries, and Livermore Labs



Community Development Context

- 1960s-1990s: The community had significant concerns about sprawl - numerous community efforts to preserve habitat and agriculture areas.
- 1999: South Livermore Valley Specific Plan and Urban Growth Boundary adopted.
- 2002: North Livermore Urban Growth Boundary adopted.



Edge and Center

- By 2002, the Livermore community had decided it didn't want to grow at its *edges*
- Instead (or by default), it agreed that it should grow in its *center*...
- ...But there wasn't yet a vision about what growing in the center *meant*, or *looked like*.



Downtown Livermore in 2002: underperforming business and community image, low activity, not well connected to surrounding wine country

First Street was State Route 84 at the time – 4-5 lane truck route



Downtown's Authentic Historic Architecture...



...Outnumbered by utilitarian, ordinary and vacant buildings



City of Livermore

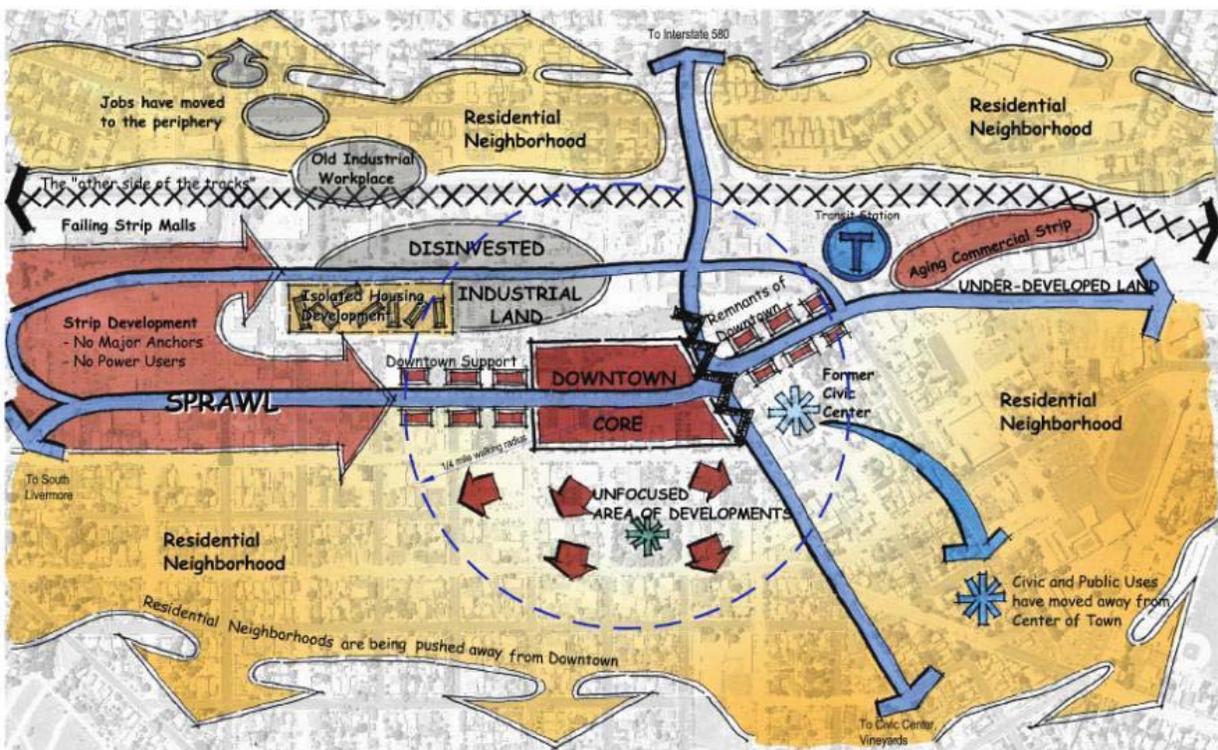
Downtown Specific Plan

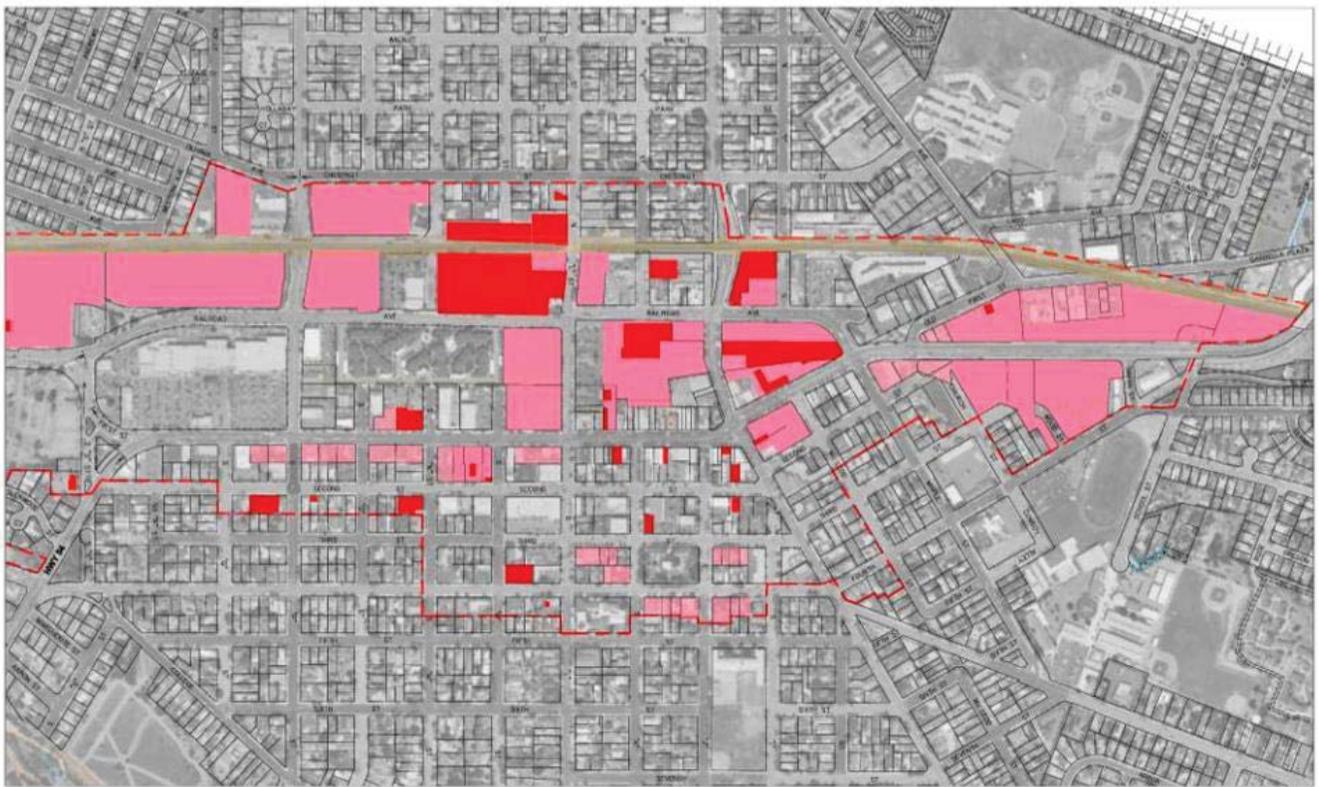


Downtown's Challenges: Community Comments

Workshop #1, July 27, 2002

- Nobody lives there
- Few work there
- Low intensity development
- Outdated building fabric (small)
- No retail or recreational destinations
- Minimal public realm
- Far from freeway
- Poor linkages to downtown
- Weak visual character
- High-speed traffic through the heart of downtown (1st St, Livermore Avenue)





- Vacant
- Vulnerable
- Somewhat Vulnerable



VACANT AND VULNERABLE SITES

City of Livermore

Livermore Downtown Specific Plan

Preliminary Directions: Community Comments Workshop #2, August 14, 2002

- Add housing downtown
- Arts emphasis
- Wine expression
- Change First Street
 - Make it narrower, slower
 - Convenient parking
- Clustered retail
- Pedestrian-oriented places
- Lots of shade

A sticking point:

The height issue

- Livermore residents were used to suburban heights and intensities
- They also prized their historic downtown's character
- Many in the community balked at new buildings higher than 3 stories (ground floor with 2 stories of housing above), and said so in workshops
- Many were also skeptical: "who will want to live downtown, anyway?"

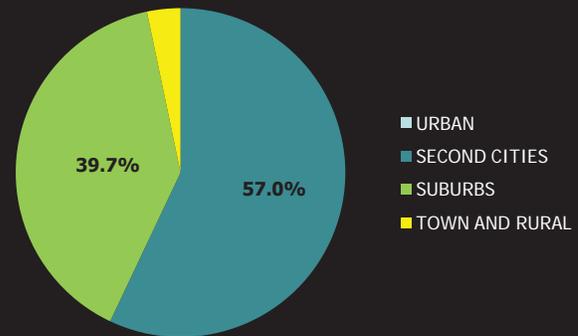
The Regional Real Estate Market and Livermore within

- Market analysis indicated that retail, office and residential development demand was there – it was a matter of *capture*.
- This was a matter of the right retail, office, and residential *product types* configured for the type of place – and where, how much, and how fast.
- The biggest mistake would be over-reach – 8 blocks of retail instead of 5.

Latent Demand for “Urban” Lifestyles

- Livermore is home to a high number of households with urban *lifestyles* – despite being dominated by suburban single family product types
- With the right delivery of retail, cultural amenities, events and activity, downtown residential would be desirable and successful

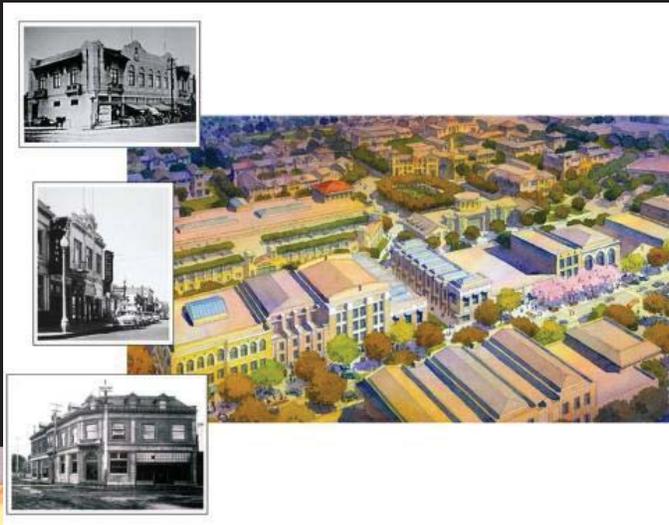
PRIZM Distribution



The Economics of Reality

- Financial analyses indicated that a minimum of 4 stories of mixed-use development would be necessary to “pencil.”
- With assurances that urban design could assure quality and fit of taller development, the question then became, **do you really want investment and revitalization to happen?**

Illustrated the Future
Downtown
District
Envisioned by the
(initially skeptical)
Livermore Community



Shaped the
development
character to be
complementary to
historic buildings and
fabric

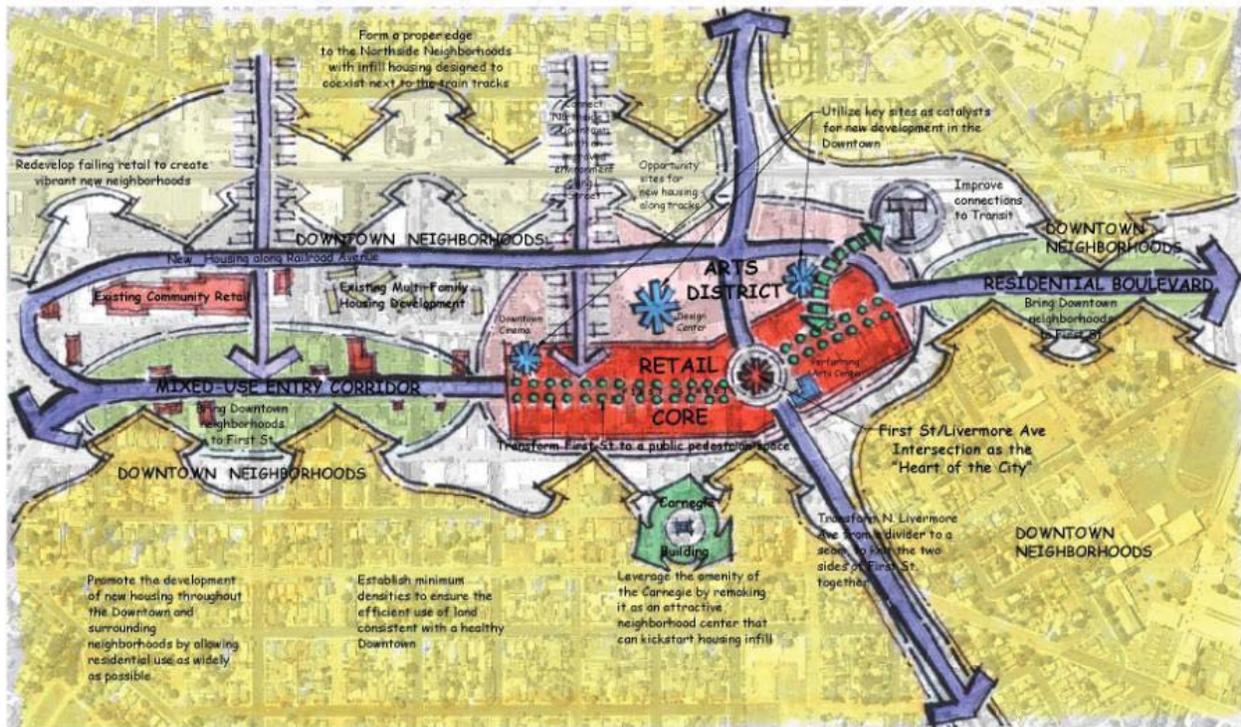


FIGURE 3-1: REVITALIZATION STRATEGY



— Project Study Area

REVITALIZATION ZONE

- Highest Priority for Incentive Programs
- Focus Capital Improvements Here to Stimulate Investment and Re-use
- Preferred Location for Targeted Recruitment and Relocation.

CATALYST ZONE

- Public/Private Ventures
- Highest Priority for Promotion of Short-Term Investment
- Candidate Area for Subsidized Facilities e.g. Arts

LARGE-SCALE REDEVELOPMENT ZONE

- Acquire, Assemble and Otherwise Facilitate Redevelopment as Resources Allow

MEDIUM-SCALE INFILL ZONE

- Focus Capital Improvements at Frontage to Stimulate New Investment
- Retain/Enhance Medium-Scale Commercial That Complements Downtown Core Retail
- "Sensitive Infill": Housing, Office, Lodging

NEIGHBORHOOD ENHANCEMENT ZONE

- Promote Sensitive Infill, Rehabilitation and Re-use
- Parameters for Compatible Intermixing of Residential Office, and/or Lodging Uses

FIGURE 10-1: STRATEGIC ACTION ZONES

Livermore Downtown Specific Plan

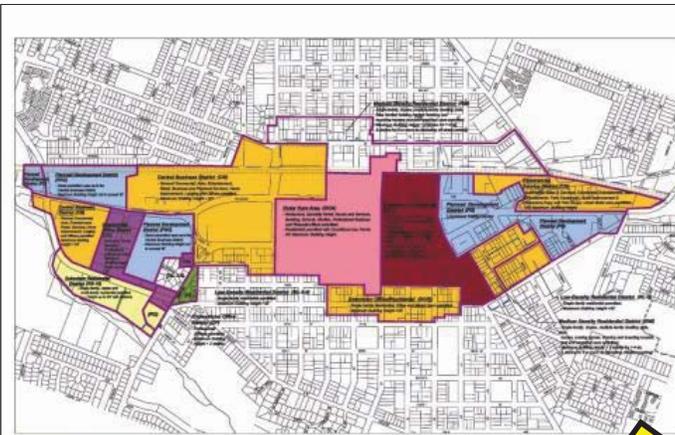


FIGURE 2-5: PRE-SPECIFIC PLAN ZONING (EXISTING 2003)

Livermore Downtown Specific Plan

Refocused Land Use & Development Policies...

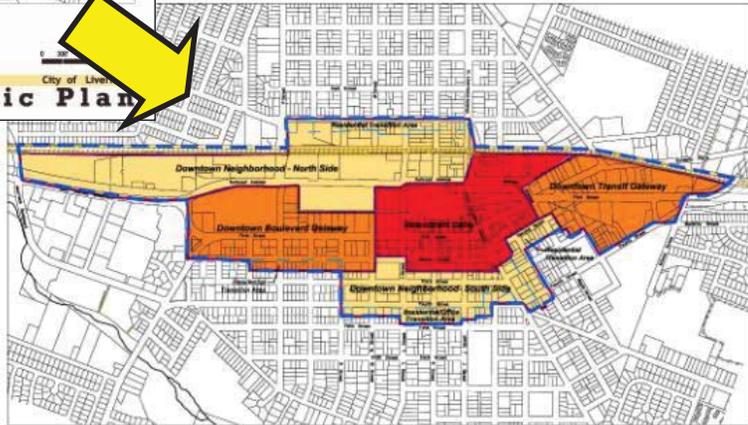


FIGURE 4-2: LAND USE PLAN AREAS

Livermore Downtown Specific Plan

Planning process defined locations and types of desired new investment



EXISTING DEVELOPMENT
Livermore Downtown Specific Plan



FIGURE 4-4: URBAN DESIGN ILLUSTRATIVE-ENVISIONED CHANGE
Livermore Downtown Specific Plan

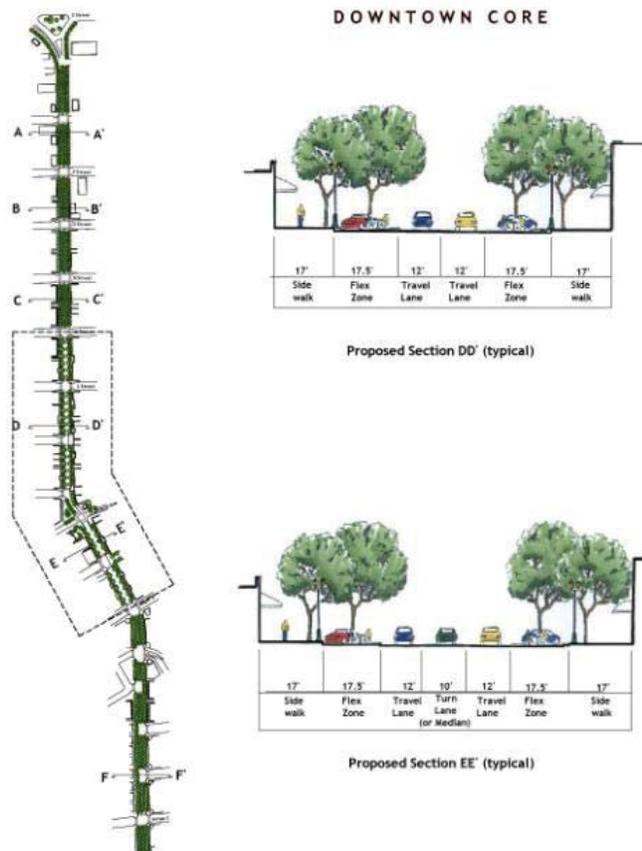
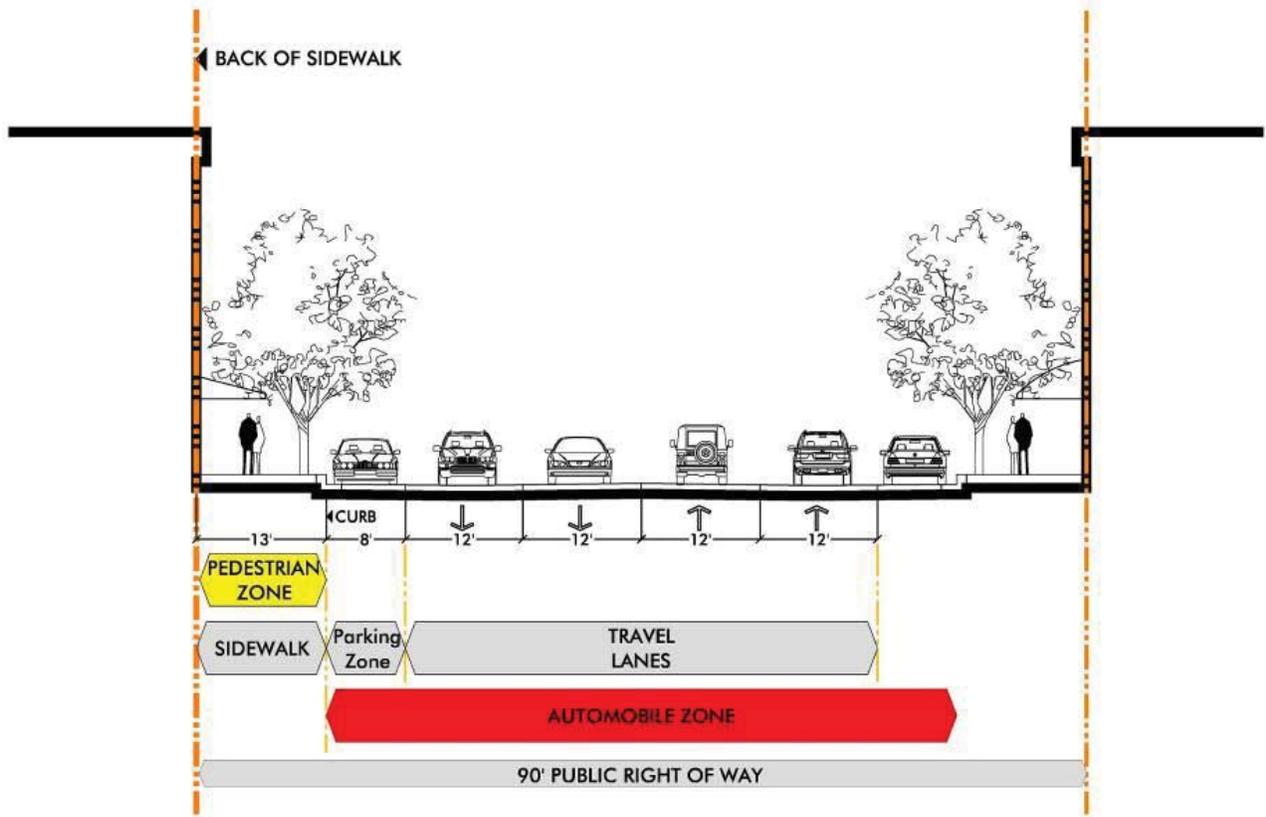


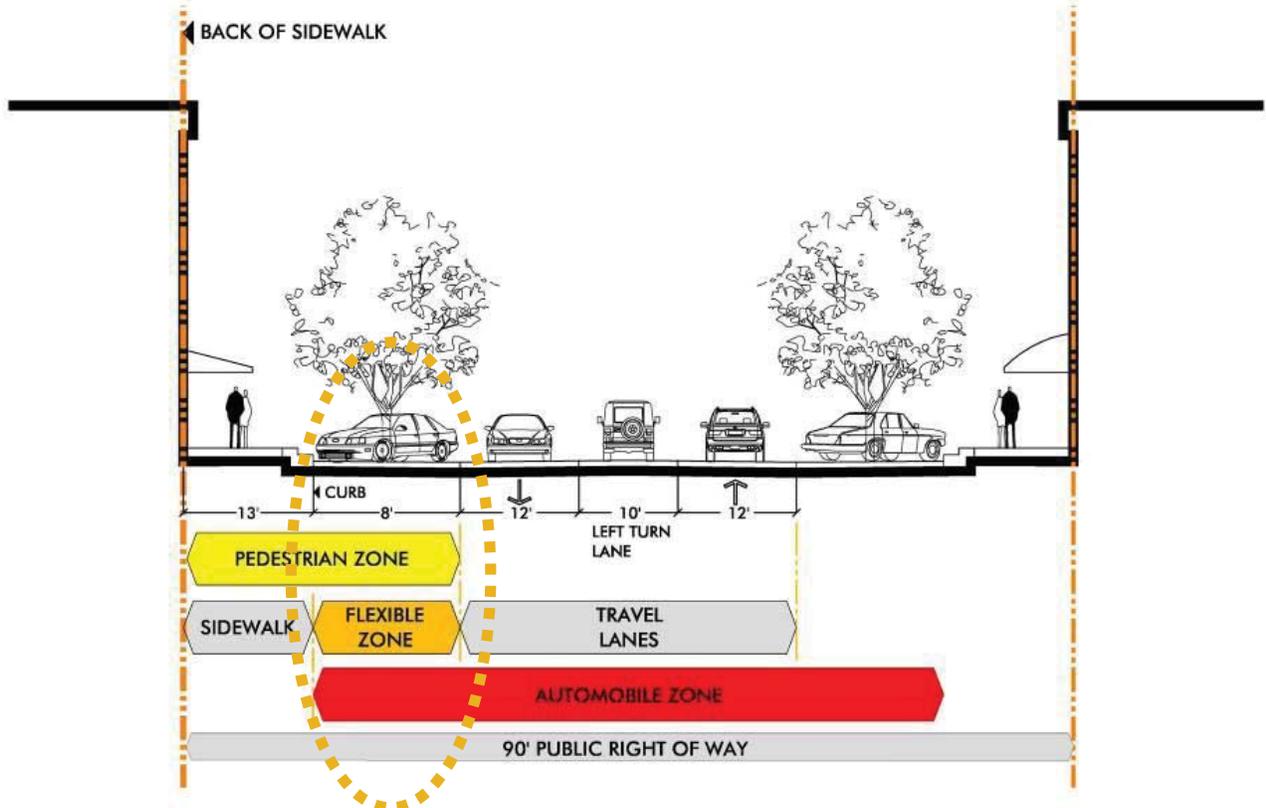
FIGURE 7-6: FIRST STREET - DESIGN CONCEPT

The usual "share" of street use zones



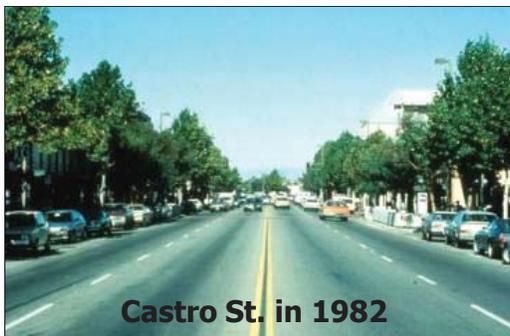
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The "Flexible Zone" Main Street: A Use Overlap

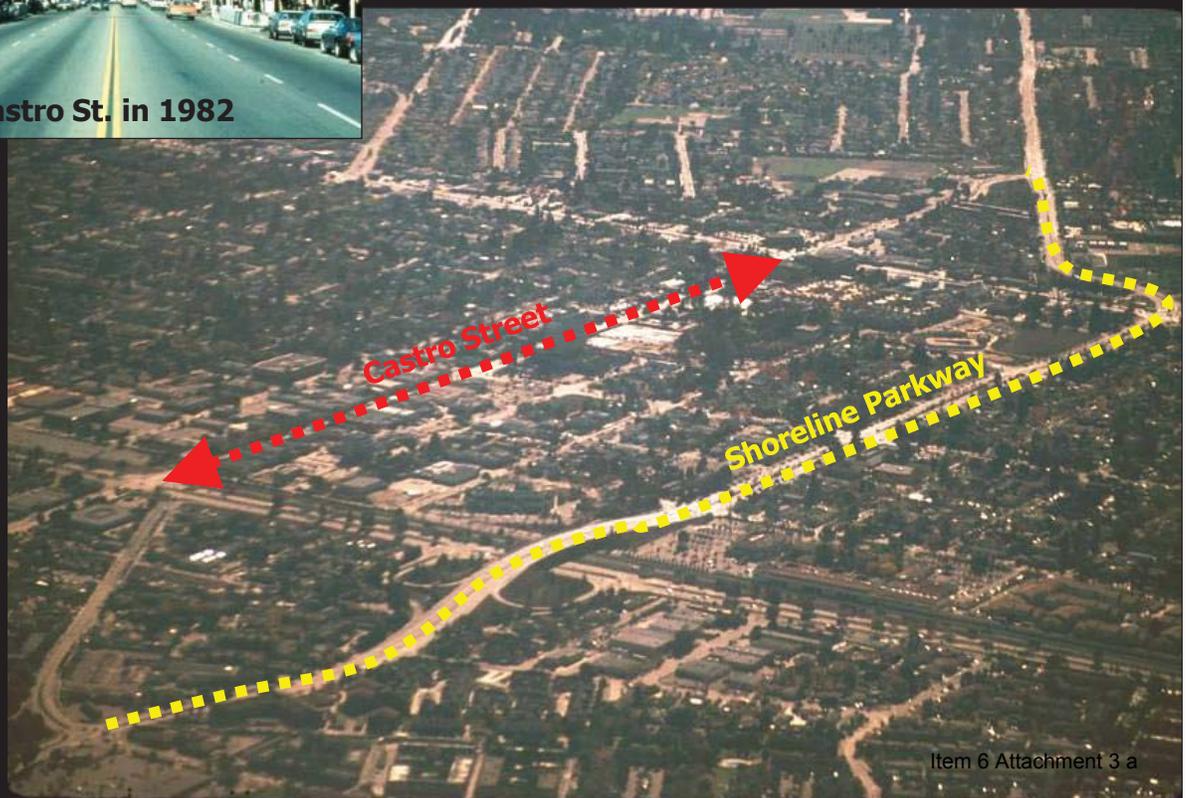


Item 6 Attachment 3 a
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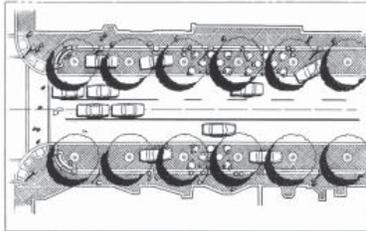
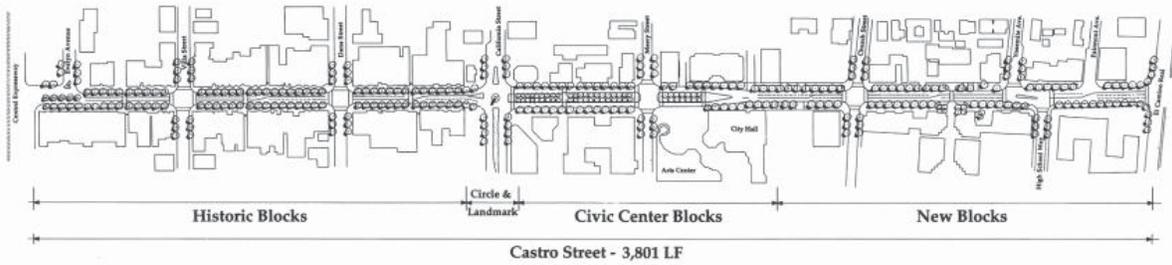
The First Flexible Zone Main Street: Castro Street (1989)



Castro St. in 1982

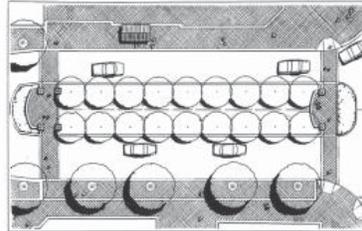


Project Extent & Sub-Areas



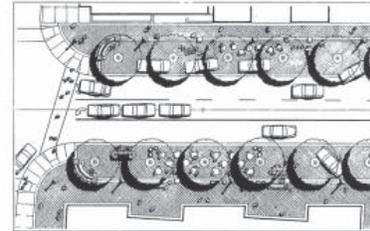
Historic Blocks

- 80' Right-of-Way
- 3-Lane Cross-Section w/Continuous Left Turn Lane
- Parallel Parking in "Flexible Zone" w/ Shade Trees between Stalls
- "Stair Curb," Seatwall Planters, and Furnishings
- "Main Street" Building Standards and Guidelines for Active, Pedestrian-Oriented Frontage.



Civic Center Blocks

- 90' Right-of-Way
- Landscaped Center Median w/ Cherry Tree Alley
- Limited Curbside Parking
- Plaza Frontages for City Hall, Arts Center, Kaiser Offices
- Master-Planned Civic Facilities w/ Architectural Guidelines and Frontage Amenities



New Blocks

- 90' Right-of-Way
- 3-Lane Cross Section w/ Continuous Left Turn Lane
- Angle Parking in "Flexible Zone" w/ Shade Trees between Stalls
- "Stair Curb," Seatwall Planters, and Furnishings
- Master-Planned Larger Developments w/ Architectural Guidelines and Frontage Amenities

CITY OF MOUNTAIN VIEW CASTRO STREET DESIGN CONCEPT

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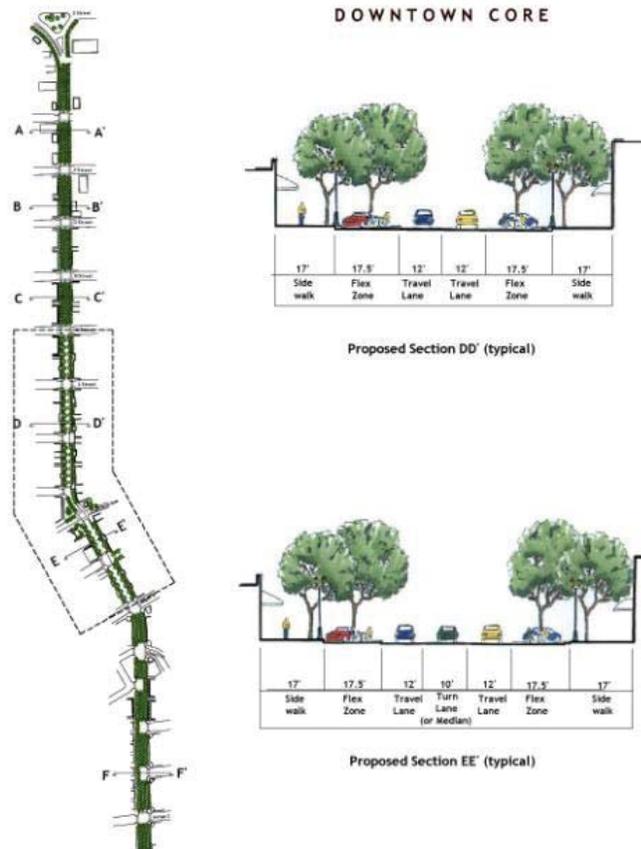
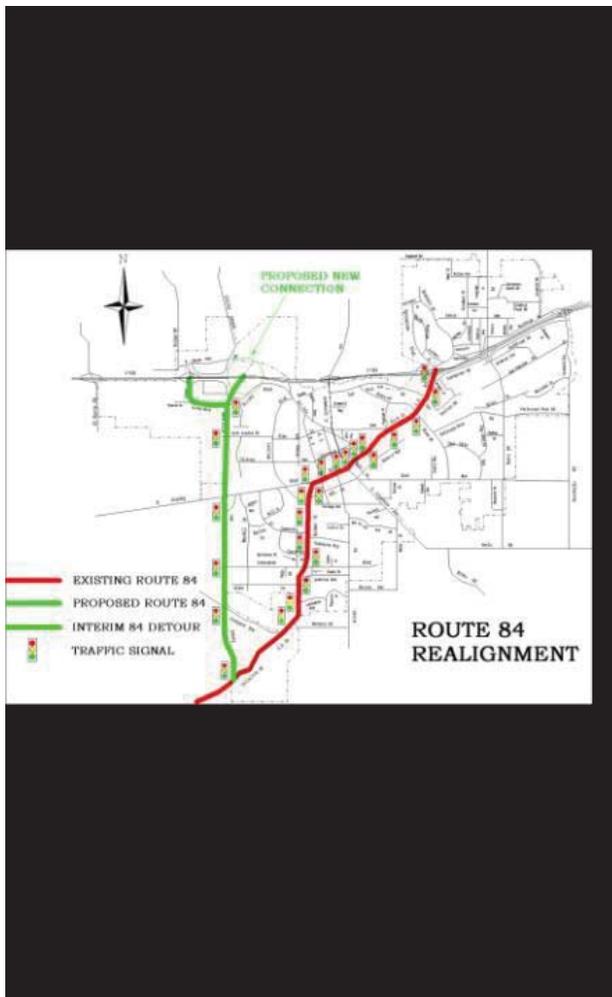


FIGURE 7-6: FIRST STREET - DESIGN CONCEPT

**DOWNTOWN CORE -
TYPICAL PLAN**

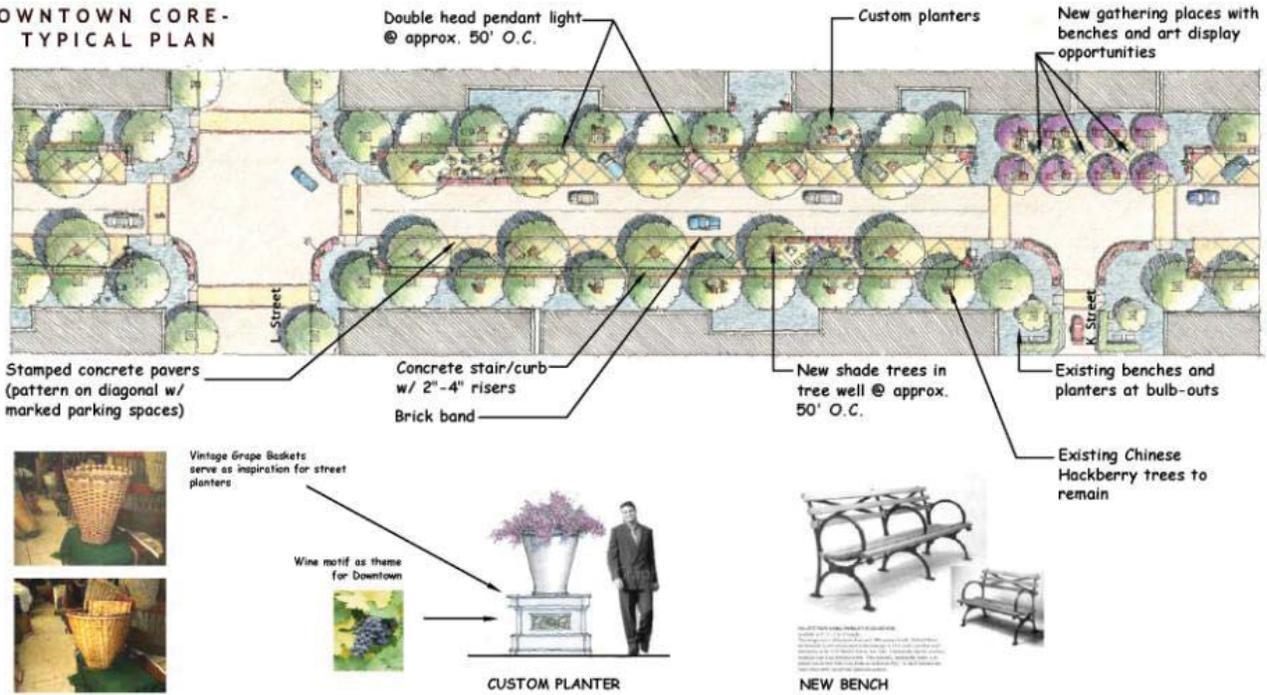


FIGURE 7-7: FIRST STREET - DESIGN CONCEPT

Livermore Downtown Specific Plan



First Street (CA-84) in 2004



First Street after streetscape and re-routing of CA-84



First Street today (with flexible zone café space)

First Street sidewalk in 2004

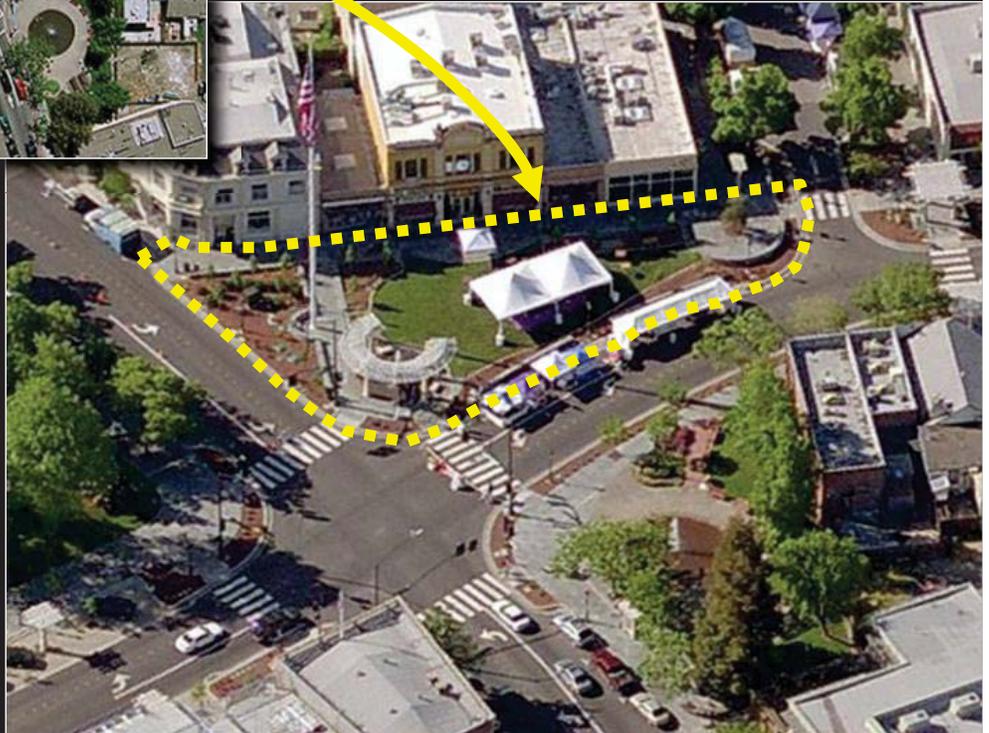
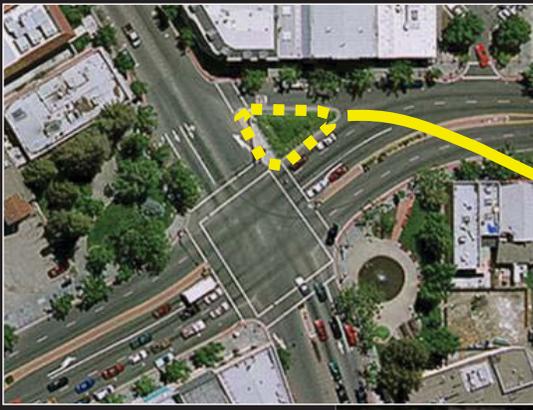


First Street sidewalk today (with flexible zone café space)



"Winery Patio" streetscape, new town green, & interactive fountain

1st St. & Livermore Ave: A slip lane and "pork chop" island become a new town green



New Investment: Shops, Offices, Residences, & Anchors



Design Context identification example – Livermore / Downtown Specific Plan

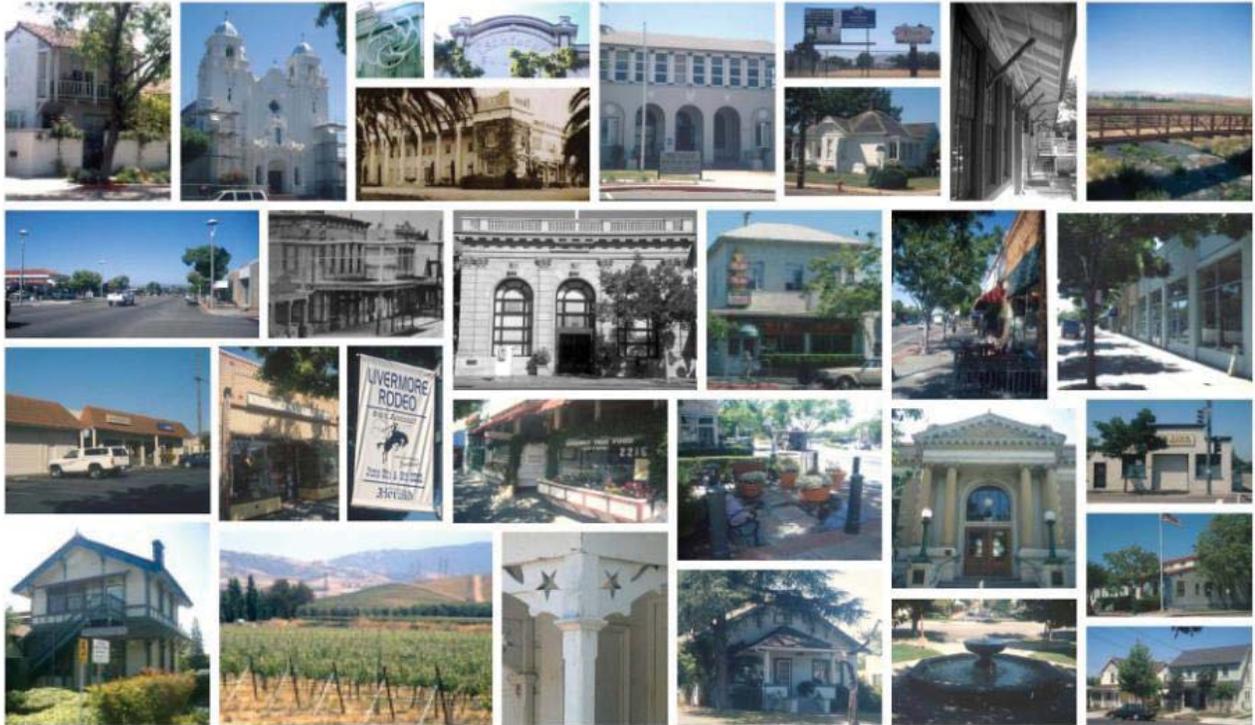


FIGURE 6-1: DESIGN CONTEXT

Livermore Downtown Specific Plan

Design Prototypes Examples – Livermore / Downtown Specific Plan

ATTACHED RESIDENTIAL - TOWNHOUSE

A variety of styles are found throughout Livermore's neighborhoods, and no one style predominates as the "true" style. However, all of the styles have in common a hand-crafted character and attention to detail that make them identifiable "Livermore".

The massing, design and detailing of residential buildings are critical to their "quality". Each unit should have a separate front entrance accessible from the street, and be surrounded in most by an individual roof form. The garage (if weather attached) included under the unit, or detached. It should be screened from the rear of the unit where possible via an interior alley. Elements that represent the climatic conditions of Livermore should be used, such as shading devices, porches and deep roof overhangs.

Recommended Characteristics:

1. Hand-crafted character, in windows, siding or other detailing.
2. Roof overhang, with brackets and exposed rafters beneath the eaves.
3. End walls should be architecturally detailed (e.g. porches, windows, awnings and not gabled walls facing the street).

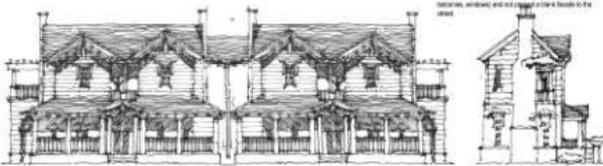


FIGURE 6-4: DESIGN PROTOTYPE: ATTACHED RESIDENTIAL

Livermore Downtown Specific Plan

DOWNTOWN MIXED-USE BUILDING

Downtown's earliest commercial buildings were often built with retail on the ground floor and residential above, such as lodging or housing above. The illustration shown below is based on Downtown's traditional commercial styles. Multi-story buildings are recommended to have a three-part composition where the top floor forms the crown of the building, the floors above the base form the main body of the building, and a projecting cornice or parapet caps the facade composition.

The ground level of the building plays an important role in Downtown's streetscape – especially the storefront. A special storefront should include a main entrance flanked by display windows. Large display windows, awnings or a sign board, and clerestory or transom windows are recommended.

Recommended Characteristics:

1. Hand-crafted details, incorporating classical, classical or contemporary "look" including:
 - a. Classical detailing and ornament, such as decorative elements representative for the facade.
 - b. Ornate entrance for residential units.
2. Classical detailing and ornament, such as decorative elements representative for the facade.
3. Ornate entrance for residential units.
4. Clearly defined building base at the first floor.

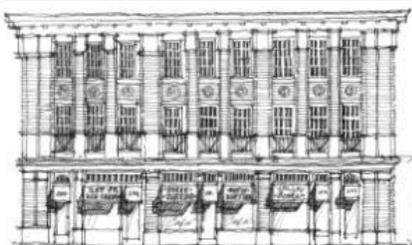


FIGURE 6-2: DESIGN PROTOTYPE: MIXED-USE BUILDING

Livermore Downtown Specific Plan

© Design Framework and Guidelines for Multiple-Family Residential Buildings - Livermore Specific Plan

BUILDING MATERIALS (CONTINUED)

Guidelines (continued):

- Primary materials should be chosen to be consistent with building style and area. Materials to be used as the primary cladding on buildings include:
 1. Brick: Both yellow and red brick are found in Livermore. Full size brick veneer is preferable to thin brick. Brick veneers should be mortared to give the appearance of structural brick, and should use wrap-around corners and bullnose pieces to reinforce a masonry appearance.
 2. Wood: Horizontal siding such as clapboard and tongue and groove, vertical siding such as board and batten, and other horizontal siding such as smaller round shingles and shales may be available. The larger, more rustic styles of shingles and shales should not be used. Trim elements should be used, and traditional Craftsman masonry such as render detailing and exposed bracing are recommended. T1-11 siding is prohibited unless done in a board and batten style.
 3. Stucco or EIFS: Stucco, cement plaster or stucco-like finishes such as EIFS are acceptable finishes. Adhesion should be good to detail and trim elements for a high quality installation. Highly textured surface finishes are not recommended. The pattern of joints should be architecturally coordinated with the overall facade composition, and masonry colors should be coordinated with surface and other building colors.
- Accent materials are recommended to add interest and variety at a more discrete scale. These include brick, wood, and masonry, as listed above, and also include:
 1. Ceramic tile: This should be limited to use in a facade-cladding or decorative wall accent material. Great color should be coordinated with tile and other building colors.
 2. Stone and stone veneers: Stone should be used as a base or as a special decorative material for wall panels or sills in combination with stucco or EIFS materials.
 3. Profile, Corrugated, and Other Sheet, Rolled and Extruded Metal: Surfaces are acceptable in limited circumstances such as an agricultural theme material, or for low-work structures in a courtyard/landscaped area.



6-41

MULTIFAMILY RESIDENTIAL - STACKED FLATS

As multifamily buildings, the emphasis should be placed on giving each unit or each small cluster of units a sense of individual identity, rather than an anonymous "project" appearance. Units should have individual entrances where appropriate, screened here and raised above the street. They should be supported on brackets to read as individual spaces, and should incorporate private outdoor spaces for each unit where possible. Variations in height, color, materials, setback, and roof shape are encouraged.

The scale of multifamily buildings should be compatible with their surrounding residential neighborhoods. Stepshapes and other forms of varying building massing should be used to ensure buildings fit within the smaller scale of their residential context.

Recommended Characteristics:

1. Subsets at building ends, sloping down in adjacent residential.
2. Cloning spaces, such as balconies and porches, for each unit.
3. Cantilevered roof overhangs for upper story units.
4. Free roof units (used from street level to rooftop parking).



FIGURE 6-3: DESIGN PROTOTYPE: MULTIFAMILY RESIDENTIAL

Livermore Downtown Specific Plan



**The takeaway:
Placemaking is a key to making
PDA's active, attractive,
meaningful – both to residents
AND investors**

The takeaway:
The *urbanism* of a district (well-related building frontages and public realm) matters most for attractive and value-creating placemaking

The takeaway:
Essential placemaking tools are: good development controls (form-based) and good public realm (streetscape) that work together – that both draw from place character, and add to it too

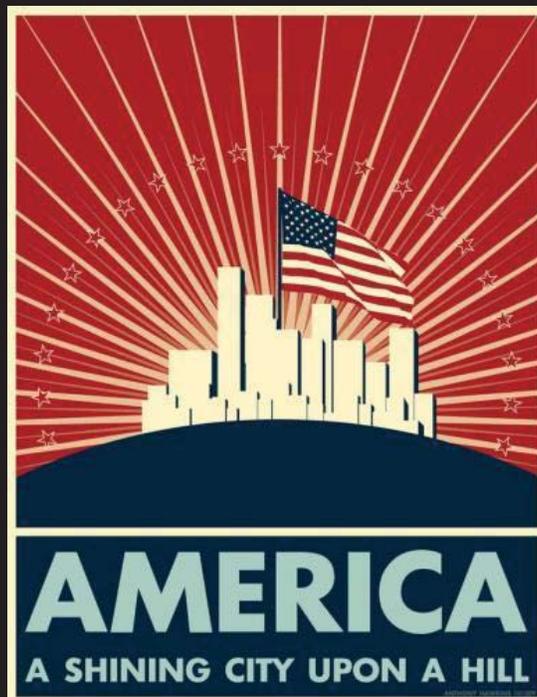
The takeaway:
Strategic Placemaking is where you select and shape the right catalyst project to kick-start big change. From an “economic gardening” standpoint, that catalyst project is more likely to be a public realm than an individual facility.

PDA:
Why Placemaking?

Smart Growth: Because it's good for you



But lest we forget... we Americans are
aspirational



Artist: Anthony Hawkins
<http://hawk862.deviantart.com/art/Shining-City-Upon-a-Hill-140218403>

We want to be moved more by **aspirations** than fears



To make **"infill"** meaningful and desirable, we need to provide a **basis for a wider consensus:**
enthusiasm and core understandings of how to grow and re-invest in great places that are sustainable, livable, and prosperous